

PROPOSED GARAGE/SHED & CARPORT
TO REPLACE EXISTING
585 TUMUT PLAINS ROAD, TUMUT NSW 2720



LOCATION MAP

IMAGE SOURCE: SIX MAPS NSW

SHEET LIST

- 01 TITLE PAGE
- 02 PROPOSED SITE PLAN
- 03 PROPOSED FLOOR PLAN
- 04 PROPOSED ELEVATIONS

<div><div>COPYRIGHT</div><div>The information and design concepts herein remain the property of Tumut Building Design and shall not be used or copied without their written permission</div></div> <div><div>TUMUT BUILDING DESIGN</div><div>Mel Tsarevich 0413 997 717 tumutbuildingdesign@outlook.com</div></div>	<div>1 - Issued for DA/CC 1 - Issued for client approval Issue/Amendments</div> <div>13.03.25 19.02.25 Date</div>	<div>Project Name PROPOSED GARAGE/SHED & CARPORT TO REPLACE EXISTING</div> <div>Client L & M HILL</div>	Date 19.02.25	Issue 1
			Scale N.T.S	Plan & Sheet Number HI02- 01
			Sheet size A3	
			Drawn M.T	Sheets in set 4

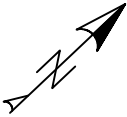
GENERAL NOTES:

Builder to confirm location of services & all levels onsite prior to the commencement of any works.
Builder/contractors are to confirm all measurements on plan & any other detail with an onsite inspection prior to the commencement of any works or the ordering of materials/products.
Building design drawings are to be read in conjunction with the specifications and any applicable professional engineer plans.
Figured dimensions to take precedence over scale.

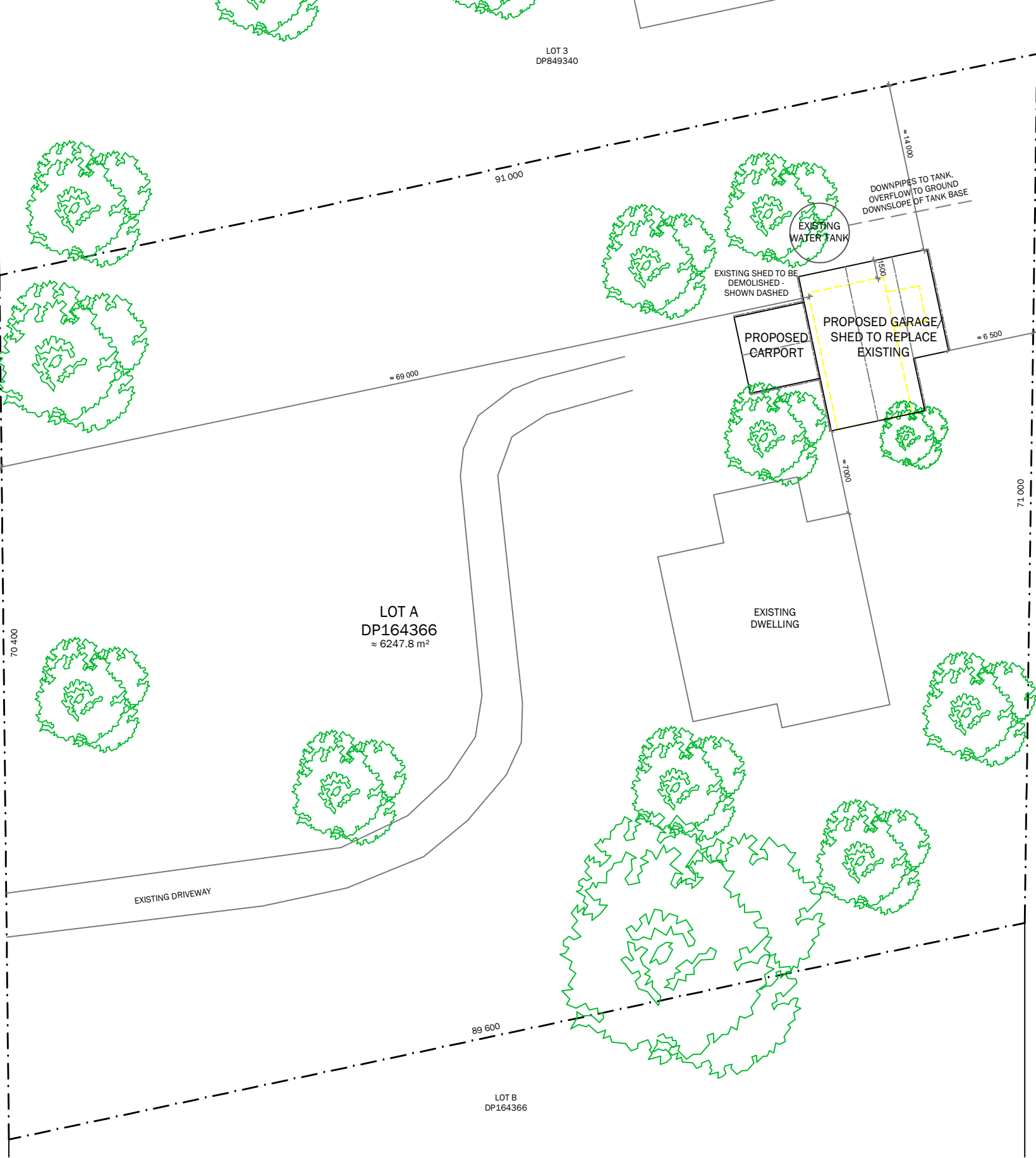
All works to comply with the National Construction Code Series (NCC) volume 2 & all relevant current Australian Standards.
All plumbing & drainage work to be in accordance with the National Plumbing & Drainage Code & AS3500.

IMPORTANT NOTE:


Boundaries shown here are depicted by remote sensing techniques.
Site plan dimensions, contours & boundary setbacks to be confirmed onsite or by a registered surveyor if required prior to commencement of any works



TUMUT PLAINS ROAD



PROPOSED SITE PLAN

<p>COPYRIGHT The information and design concepts herein remain the property of Tumut Building Design and shall not be used or copied without their written permission.</p> 	<p>TUMUT BUILDING DESIGN</p> <p>Mel Tsarevich 0413 997 717 tumutbuildingdesign@outlook.com</p>		<p>Project Name PROPOSED GARAGE/SHED & CARPORT TO REPLACE EXISTING</p>		Date 19.02.25	Issue 1
	<p>1 - Issued for DA/CC 1 - Issued for client approval Issue/Amendments</p>		<p>Address 585 TUMUT PLAINS ROAD, TUMUT</p>		Scale 1:400	Plan & Sheet Number
	<p>13.03.25 19.02.25 Date</p>				Sheet size A3	HI02- 02
					Drawn M.T	Sheets in set 4

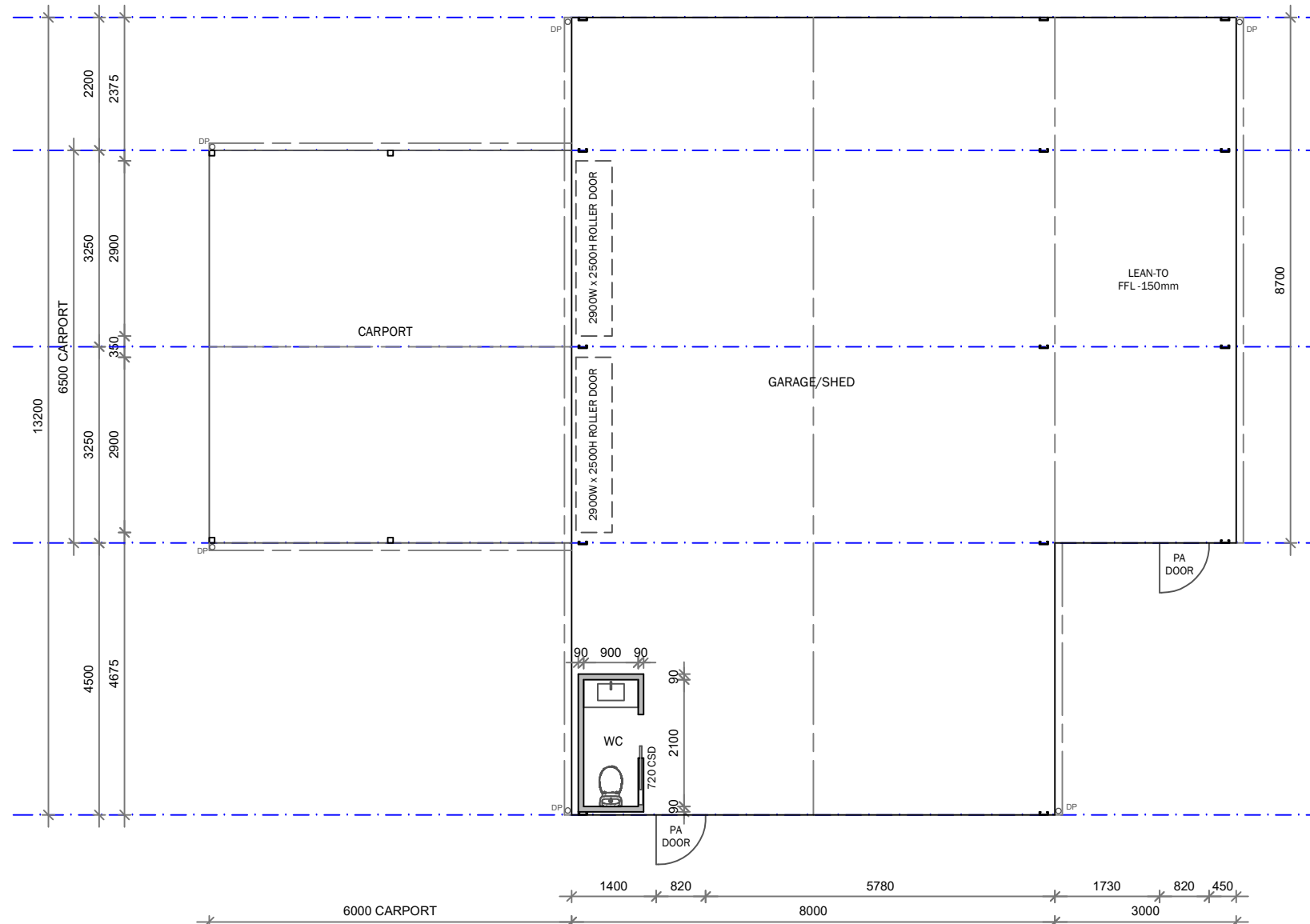
Builder to confirm location of services & all levels onsite prior to the commencement of any works.

Builder/contractors are to confirm all measurements on plan & any other detail with an onsite inspection prior to the commencement of any works or the ordering of materials/products.

Building design drawings are to be read in conjunction with the specifications and any applicable professional engineer plans.

Figured dimensions to take precedence over scale.

All works to comply with the National Construction Code Series (NCC) volume 2 & all relevant current Australian Standards.
All plumbing & drainage work to be in accordance with the National Plumbing & Drainage Code & AS3500.
Swinging doors into sanitary compartments to be in accordance with the NCC volume 2 part 3.8.3.3.
Stair and balustrade design & construction to be in accordance with the NCC volume 2 part 3.9.1 & part 3.9.2.
All smoke alarm requirements, location & installation in accordance with the NCC volume 2 part 3.7.2 & AS3786.



DRAINAGE & WASTE WATER TREATMENT
All drainage work to be carried out by a licensed drainer. Stormwater drainage shall be carried out in accordance with the BCA.

CARPENTRY
All timber used shall comply with the provisions of AS1720 and AS1684.
Sizes of timber shall be the nominal size mentioned with allowable tolerances as provided by the relevant supplement of AS1684.
Wall frame timber, sizes and spacing shall be in accordance with AS1684.

Steel framing shall comply with Part 3.4.2 of the BCA. Framework is to be assembled with fixings as per the design or in accordance with the manufacturer's recommendations.

The steel frame must be protected from corrosion in accordance with 3.4.2.2 of the BCA.

The frame is to be permanently earthed.

Electrical wiring, water pipes and other services passing through the frame are to be isolated from it with rubber grommets or other suitable material.

Wall linings to be fixed in accordance with the manufacturer's recommendations.
Wet area linings shall be of water resistant material in accordance with BCA Part 3.8.1.
Ceiling linings shall be fixed in accordance with the manufacturer's recommendations.
Junctions of walls and ceilings shall be set or otherwise finished as required.

Waterproofing to internal wet areas shall be in accordance with BCA Part 3.8.1. The waterproofing system should be selected according to the project requirements and the manufacturer's specification, taking account of product suitability and compatibility with surface materials.

All fixing out timber to be seasoned and free from defects which might affect appearance or durability. All timbers are to be DAR accurately cut and securely fixed. Mouldings and trimmings are to be properly mitred or scribed. All surfaces must be free of machine marks and ready for painting.

Door frames shall be solid rebated frames, packed plumb and true and fixed securely to door opening studs. Metal door frames shall be installed to manufacturer's recommendations.

Internal doors shall not be less than 35mm thick at widths and swing direction as shown on the drawings. All doors shall be fitted with suitable furniture.

Provide architraves to all window, door and other openings where necessary and of a type, finish and size as selected by the owner/s.

Provide skirtings where required of a type, finish and size as selected by the owner/s.

All plumbing & drainage work to be in accordance with the National Plumbing & Drainage Code & AS3500.

All plumbing works must be carried out by a licensed plumber and drainer.

Ensure all inspections are carried out and certificates issued, including a Certificate of Compliance upon final inspection.

An approved hot water heater is to be installed in accordance with the manufacturer's instructions and located to ensure ease of maintenance

Sanitary plumbing and drainage shall be undertaken by an appropriately licensed person.

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000.
A Certificate of Compliance Electrical Work shall be provided at the completion of the electrical work.
Install all lights, power outlets and electrical fixtures as nimonated by the owner/s.



Provide wall and floor tiles as specified by the owner/s.
All tiling substrates shall be dry and free of dust, debris and deposits.
Adhesive manufacturers' recommendations on surface preparation should be followed.
Ensure tile adhesives are compatible with the waterproofing membranes used.
Tile adhesives, primers and related products must be compatible. The use of mixed brand products is not recommended.
Movement joints are to be provided in accordance with AS 3958.1
Grade floor tiles to floor wastes and elsewhere as required. The recommended ratio of fall within a shower is between 1:60 and 1:80. The recommended ratio of fall in other wet areas is between 1:80 and 1:100

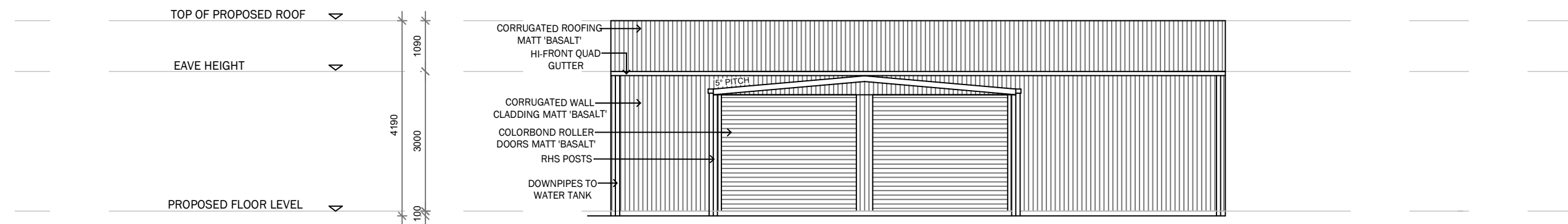
All paint and related products such as primers, sealers and fillers shall be compatible, suitable for purpose and used in accordance with the manufacturers' recommendations and the manufacturers' safety data sheets.

All surfaces shall be prepared to the manufacturers' product recommendations. Final preparation shall be the responsibility of the painter/applicator.

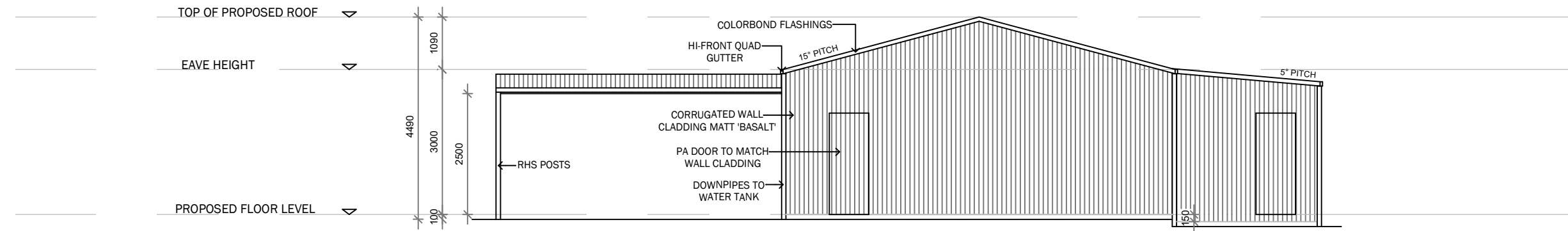
Paint splashes, runs and drips shall be removed during the course of the work.

PROPOSED FLOOR PLAN

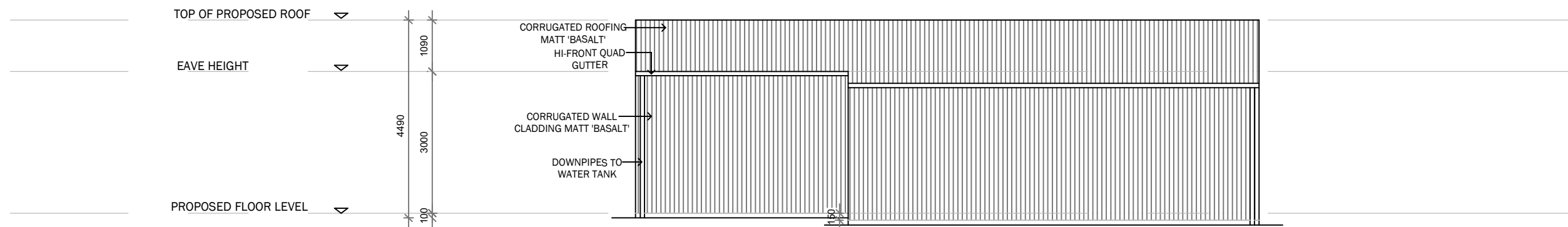
 <p>The information and design contained in this drawing are the property of Tumut Building Design and are not to be used or copied without their written permission</p>  <p>TUMUT BUILDING DESIGN</p> <p>Mel Tsarevich 0413 997 717 tumutbuildingdesign@outlook.com</p> <p>1 - Issued for DA/CC 13.03.25 1 - Issued for client approval 19.02.25</p> <p>Issue/Amendments Date</p>	<p>Project Name PROPOSED GARAGE/SHED TO REPLACE EXISTING</p> <p>Date 19.02.25</p> <p>Scale 1:100</p> <p>Sheet size A3</p> <p>Drawn M.T</p>		<p>Issue 1</p> <p>Plan & Sheet Number H102- 03</p> <p>Sheets in set 4</p>
	<p>Address 585 TUMUT PLAINS ROAD, TUMUT</p>		



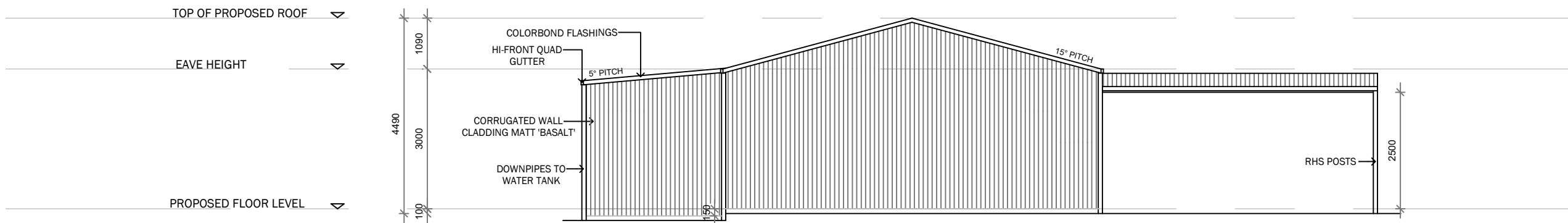
NORTH-WEST ELEVATION



NORTH-EAST ELEVATION




SOUTH-EAST ELEVATION



SOUTH-WEST ELEVATION

PROPOSED ELEVATIONS

<p>COPYRIGHT</p> <p>The information and design concepts herein remain the property of Tumut Building Design and shall not be used or copied without their written permission.</p> 	<p>TUMUT BUILDING DESIGN</p> <p>Mel Tsarevich 0413 997 717 tumutbuildingdesign@outlook.com</p>	<p>1 - Issued for DA/CC 1 - Issued for client approval Issue/Amendments</p>	<p>13.03.25 19.02.25 Date</p>	Project Name PROPOSED GARAGE/SHED TO REPLACE EXISTING		Date 19.02.25	Issue 1
				Address 585 TUMUT PLAINS ROAD, TUMUT		Scale 1:100	Plan & Sheet Number
						Sheet size A3	HI02- 04
						Drawn M.T	Sheets in set 4